

VILLAGES AT SARATOGA SPRINGS Supplemental Design Guidelines

PARKING REQUIREMENTS

Per the Master Declaration, parking is permitted on the side of homes for trailers, boats, RVs, etc. provided that they are screened from view behind a gated fence.

All approaches in the design guidelines are to be of concrete, which also applies to approaches to access parking areas on the side of homes. Therefore, gravel, grass or dirt approaches in front of dwellings are not permitted, but gravel parking pads on the side of homes are permitted, provided they are screened from street view by a gated fence.

The Board further clarifies that non-screened side parking pads are allowed only in the case of a concrete pad and approach, used only to park a working automobile.

Residents that have existing parking pads on the sides of homes that are not in compliance with the guidelines above, that need to install concrete approaches, or need to remove gravel from the front of homes, are encouraged to submit plans to the ARC as soon as possible. The screening and parking requirements for these areas in all areas of the development are currently enforced, but fines WILL NOT be assessed until July 31, 2011.



VILLAGES AT SARATOGA SPRINGS HOA

770 E Main St., #507 Lehi, UT 84043 _Tel: 801.766.9386 _Email: info@vsshoe.org

15 September 2010

Working to preserve the value of property in the association for the benefit of all homeowners.

LANDSCAPING

A full landscape plan is recommended at the beginning of construction. At a minimum the plan for the front yard completion is required. Existing properties purchased without landscaping shall have a landscape plan submitted within 60 days of closing.

A landscape plan should include the number and placement of trees, shrubs, lawn, and other landscape features (including fencing), and the timeline for completion. Where possible, also include the names/types of trees that will be used to ensure they are on the approved tree list for the development.

Front yard landscaping shall be completed within 365 days of significant completion of home, closing of escrow on an existing property, or occupancy (whichever is earlier).

There are specific trees/shrubs that are not permitted in the area. These can be found in the supplemental design guide page 2. Recommended trees/shrubs can be found in the design guide page 28. The following minimum landscaping requirements apply to the entire lot. At least 60% of the required shrubs and 60% of the required trees must be planted in the front yard. i.e. if a lot size requires 5 trees and 7 shrubs, 3 of those trees and 5 of the shrubs (rounded up from 4.2) would be required in the front yard.

- Up to 0.137 acres: 2 trees* (deciduous or evergreens) and 4 shrubs**
- 0.138 to 0.23 acres: 3 trees* and 5 shrubs**
- Greater than 0.23 acres: 5 trees* and 7 shrubs**
- Other plantings, ornamental grasses, flowers, and landscaping rocks are encouraged

*Trees are to be a minimum of 1 ½" caliper deciduous or 6' evergreen trees. The board also strongly encourages residents to choose trees that are large enough (6' or taller) to survive the cold winters, hot summers and frequent high sustained winds in Saratoga Springs. Trees that have done very well in our areas are outlined in page 28 of the design guidelines.

**Shrubs are to be a minimum of 2 gallon size

CITY REQUIREMENTS

All residential lots shall have the front yards landscaped within one (1) year and back yards within two (2) years after receiving a Certificate of Occupancy. Park strips shall be landscaped when the front yard is landscaped and shall thereafter be perpetually maintained by the property owner who abuts the park strip. Approved landscaping shall be installed in park strips. Approved landscaping includes: turf, trees, drought tolerant plants, mulch, live plant vegetation below two (2) feet in height, landscape rock, cobble and removable pavers. When landscape rock or pavers are used at least 30% of the area shall contain plantings. Weeds, dead vegetation, fruit and vegetable gardens, gravel, concrete and large boulders are prohibited. Four (4) foot wide concrete walkways are allowed when the walkway lines up with the main walkway to the front door. (Amended 6/23/09 – Ordinance 09-14)

LANDSCAPE ROCK

The use of gravel is not permitted in the park strip or anywhere in front of a home. However, gravel is permitted on the side yard to park boats, trailers, or campers. These areas should be screened from view. (See Parking Requirements)

Landscape rock is permitted for use in front yard landscaping, provided it is one of the types of rock approved for use in the project and the landscaping plans showing the use of landscape rock are approved by the ARC. (See Landscape Rock Guidelines.)

The Villages at Saratoga Springs

Design Guidelines

The Villages Community Design Principles

Goals

1. Create a Sense of Place and Community..... p. 4
2. Establish Continuity
3. Create Livable Environments
4. Protect the Natural Landscape
5. Provide a Community that will Reach Across Socio-Economic Lines

Community Design Principles

1. Purpose..... p. 4
2. Transportation Corridors..... p. 5-6
 1. Arterial Roads
 2. Major Collector Roads
 3. Neighborhood Collector Roads
 4. Local Roads
3. Open Spaces..... p. 6-8
 1. Regional Parks
 2. Regional Corridors and Preserves
 3. Community Parks
 4. Neighborhood Parks
 5. Neighborhood Corridors and Preserves
4. Fencing..... p. 8-9
 1. Arterial Roads (Redwood Road and Foothill Boulevard)
 2. Major Collector Roads
 3. Neighborhood Collector Roads
 4. Local Streets
 5. Parks, Preserved Lands, Paths and Trails
5. Signage..... p. 10-11
 1. Community Entrances
 2. Traffic Controls and Street Signs
 3. Streetlights and Mailboxes

Land Uses

1. General Provisions..... p. 11-13
 1. Schools
 2. Civic Uses
 3. Commercial
 4. Very Low Density Residential
 5. Low Density Residential
 6. Medium Density Residential
 7. High Density Residential

Architectural Guidelines

1. Site Design..... p. 13-17
 1. Attached Single-Family and Multi-Family Developments
 2. Detached, Single-Family Developments
 3. Commercial Development
2. Hillside Standards..... p. 17
 1. Maximum Development Elevation
 2. Maximum Impervious Material Coverage
 3. Usable Land
 4. Vegetation and Revegetation
 5. Grading, Cuts and Fills
3. Architecture..... p. 18-22
 1. Attached Single-Family and Multi-Family Dwellings
 2. Detached, Single-Family Dwellings
 3. Landscaping
 3. Commercial Development

Architectural Review Committee

1. Purpose..... p. 23-24
2. Committee Organization
3. Architectural Review Process

Transportation Corridor Designs

1. Arterial Roads (Redwood Road and Foothill Boulevard)..... p. 25-27
2. Major Collector Roads
3. Neighborhood Collector Roads
4. Local Roads
5. Regional Open Space Corridor
6. Neighborhood Open Space Corridor

Landscape Plan

1. Detached, Single-Family Typical..... p. 28

The Villages Community Design Principles

The Villages at Saratoga Springs is a Planned Community that incorporates many principles of New Urbanism while still allowing for areas with a "western suburbia" basis for subdivision design. In any event, it is fully expected that the highest commitment to quality urban design and quality of life will be maintained as each neighborhood throughout the community is planned. This commitment will result in the creation of a community with a distinct appeal.

Being generally guided by New Urbanist principles, The Villages place a strong emphasis on the following ideals: 1. open space and corresponding pedestrian connections, 2. a mixture of diverse housing types, 3. a defined central place for public uses and gathering, and 4. architecture and streetscapes that emphasize the individual rather than the automobile.

The Design Principles are established to encourage congruency and quality of development within The Villages at Saratoga Springs. Architectural plans, building materials, site designs and road designs for each development area shall compliment the overall integrity of the community.

Goals

The Design Principles set forth the following goals:

1. To create a sense of place and community that is generally lacking in typical suburban development along the Wasatch Front. A sense of place and community will encourage pride in the community and pride of ownership, it will encourage long-term residency and it will encourage citizen involvement in the community.
2. To establish continuity through a comprehensive and unifying set of design principles. The design principles will allow individual builders to maintain sufficient flexibility to meet

changing market demands while still maintaining the commitment to quality design and construction.

3. To create livable environments through the emphasis of pedestrian activity. This will be accomplished, to a large degree, by planning usable open space within ½ mile of every home. A distance of ½ mile represents a convenient walking distance for the average adult.
4. To protect the natural landscape by preserving the existing drainage channels and incorporating natural features into the design of The Villages. Slopes in excess of 30% will be prohibited from development unless specific approval for grading of the slope has been granted by the City during the development approval process. Mass grading will be avoided wherever possible and subject to the Hillside Protection provisions contained herein.
5. To provide a community that reaches across socio-economic lines allowing individuals of different and varying economic levels to live in close proximity to each other without obtrusive barriers.

Community Design Principles

Purpose

The Villages at Saratoga Springs will include approximately 3,230 housing units that are anticipated to be built over a five to ten year period. The purpose of the Community Design Principles is to assure continuity of design and consistency of quality throughout the Villages.

Transportation Corridors

Five road classifications will be used within the Villages: arterial roads, major collector roads, neighborhood collector roads, local roads and sub-local roads. It is anticipated that these roadways will correspond closely to Saratoga Springs City Standards. The chart established below shall be used to identify situations where the sub-local road will be permitted and to determine the capacity of cul-de-sacs or other dead end roadways. The estimated vehicle trips per day are based on figures provided by Fehr & Peers Associates, Inc.

detached single-family homes	9.57 trips per day
attached single-family homes (townhomes)	5.83 trips per day
attached single-family homes (condominiums)	6.63 trips per day

The total number of trips per day anticipated for a cul-de-sac shall also not exceed 500. Cul-de-sac lengths will not be determined by linear feet but by a maximum number of homes so as not to exceed 500 adt.

Arterial Roads. The two arterial roads (Redwood Road and Foothill Boulevard) will accommodate regionally generated traffic and will be built with limited access. The Villages will include two egress points onto Redwood Road. The north-south connector, referred to as Foothill Boulevard, will be located approximately one mile west of Redwood Road in order to minimize pressure on Redwood Road as adjacent land parcels develop in the future. The arterial roads will accommodate two lanes of traffic in each direction with a center turning lane. The arterial roads have a 120-foot right-of-way and a speed limit of 50 miles per hour. See design on page 25.

Major Collector Roads. The major collector roads have a 107-foot right-of-way and a speed limit of 40 miles per hour. A significant design element of this right-of-way includes a consolidated sidewalk to provide a 10 foot pedestrian / bicycle trail on one side. Additional landscaping over that typically required for the City's Major Collector road will encourage pedestrian activity. See design on page 25.



Major Collector Roads will include a consolidated sidewalk for pedestrian/bicycle trail and landscaped median

Neighborhood Collector Roads. The neighborhood collector roads have a 74-foot right-of-way and a speed limit of 30 miles per hour. Although meant to move traffic efficiently through the community, the neighborhood collectors will be pedestrian friendly through the use of parkstrips, landscaping and sidewalks. On-street parking will be permitted to help narrow the perceived roadway width and to establish a barrier between vehicular travel lanes and pedestrian activity. See design on page 26.

Local Roads. Local roads will be built to encourage slower travel speeds and are designed to feel safe for pedestrians to use. These roads will have a 60-foot right-of-way and a speed limit of 25 miles per hour. Local roads will include an eight-foot parkstrip on each side to allow for street trees and a substantial separation between vehicular travel lanes and pedestrian traffic. See design on page 26.

Open Spaces

Open space is an integral element of The Villages at Saratoga Springs. Open space represented on the Land-Use Plan has been designed to provide appropriate areas for a broad range of recreational activities while also identifying key areas for sensitive and scenic lands preservation.

Open space within The Villages may be included in the form of regional parks, community parks, neighborhood parks, trails, entrance features, and any other means that will enhance the overall livability and attractiveness of the community. Open space areas may include but shall not be solely relegated to remnant parcels, inaccessible grounds or other areas that are of no substantial benefit to the neighborhood at large.

Regional Parks. The land for the regional park within The Villages at Saratoga Springs will be dedicated to the City of Saratoga Springs. It is anticipated that the regional facility will be dedicated to the City for use by a population larger than that of The Villages. As such, parks shall be designed to accommodate regionally oriented activities. It is anticipated that the regional park will be utilized for active recreational facilities.

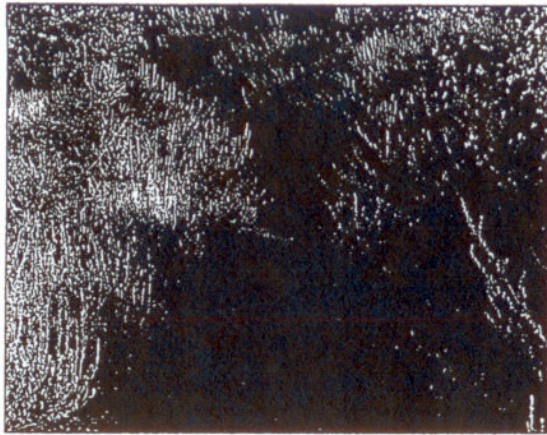
Regional Corridors and Preserves. It is intended that the regional corridors and preserves found within The Villages will be owned and maintained by the Community's Master Home Owners' Association. From a philosophical standpoint, it is expected that the space found within the Regional Corridors and Preserves will be not be landscaped and maintained in a labor-intensive or a manicured state but rather through the use of native and drought-tolerant plant varieties.

With this perspective in mind, within the Regional Corridors and Preserves, existing native vegetation will remain in place and a mix of wild-grasses and drought-tolerant shrubs will be introduced. Pedestrian trails within these corridors will be soft-surfaced, as illustrated below. These measures will provide erosion mitigation and will otherwise protect and provide access to these areas while being cost-effective to maintain for the Master HOA. Such measures shall conform to the overall philosophy of maintaining a natural appearance within these areas.



Regional trails will generally be soft-surfaced

In order to maintain the open appearance and function of the corridors, a 20' setback shall be maintained adjacent to all regional open space corridors and preserves. This setback area shall remain devoid of permanent structures and shall not be used for the storage of vehicles, equipment, building materials or any other items which will detract from the "park-like" appearance of the corridor. The placement of trees, gardens and other landscape features is strongly encouraged within this setback.



Native or drought-tolerant plant varieties will provide the landscaped treatment in Regional Corridors

Fencing as set forth in the fencing section of this document shall be installed so as to delineate the boundary between the open space and the individual lot or property. Fencing within the 20' setback, shall consist of a split-rail open fence, when a fence is desired. Other open fence types may be used upon approval of the Architectural Review Committee.



Regional Corridors shall be bordered with open fencing

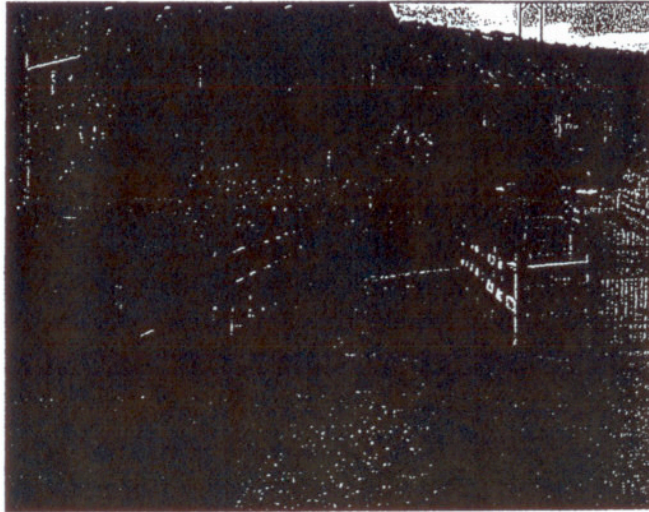
Community Parks. Parks and open space features designed to help create a "park-like" atmosphere are a critical element in creating an attractive, functional community. In addition to the 21-acre Regional Park, The Villages proposes three Community Parks that range in size from two acres to 10 acres. A two-acre park is smaller than what would normally be associated with Community recreational uses, however, because this park is adjacent to a Regional Trail Corridor, it is likely to get more use than one would typically expect in a Neighborhood Park.

The Community Parks are intended to include space for recreational hard improvements for organized sports programs. Pavilions and improvements for church gatherings/activities and family reunions would also be appropriate within the Community Parks.

Neighborhood Parks. For those neighborhoods where additional parks shall be planned, they will be placed so as to create a focal point and gathering place for that specific neighborhood that is within convenient walking distance to the surrounding residents. Such parks may provide for passive and/or active recreation. Furthermore, neighborhood parks may include any improvements that enhance the attractiveness of the neighborhood as a whole. Entrance features and enhanced landscaping along streets are two types of open space that can make a significant contribution towards giving a neighborhood a "park-like" feel. Neighborhood parks, opposed to preserved lands, shall be largely improved. It is expected that these parks will provide opportunities for daily recreation and shall be designed so as to maximize opportunities for corresponding recreational activities. It is recognized that while the majority of all parks shall be manicured, there may be instances where the park can be more functional and attractive if naturally treated areas are incorporated.

Neighborhood Corridors and Preserves. Open space corridors shall be designed in accordance with the standards found in these guidelines. Careful consideration must be given to the nature of the corridor and the types of transit expected within that corridor. Corridors shall also be designed in conjunction with appropriate fencing types and/or fencing limitations so as to prevent the creation of isolated, secluded portions of the corridor. It is intended that Neighborhood Corridors (connections

from a neighborhood to open space or a park) will be landscaped and maintained in a manicured state rather than a natural state. Neighborhood Corridors will also include pedestrian paths to link neighborhoods and to provide access to Regional Corridors and to other parks and open spaces.



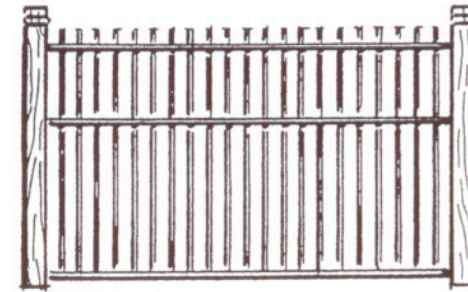
Neighborhood Corridors and Preserves shall be bordered with open fencing

Fencing

Appropriately designed and placed fencing can be a tremendous benefit to a community. Fencing shall be used to define specific spaces, and when used as such, will help give this community, and the neighborhoods within, a sense of distinction. Fencing shall not be solely used to delineate boundaries and ownership; nor shall it be the only mechanism employed to identify property lines.

Redwood Road. Redwood Road will be fenced with open, decorative metal fencing with masonry pilasters and 4" by 4" cedar posts. The metal fencing shall be a minimum of 5' in height. Masonry pilasters shall

be a minimum of 2' x 2' x 5' and shall be placed at intervals no greater than 50', on center. Solid fencing inside the metal fence shall be prohibited. For a more substantial sight or sound barrier, landscaping shall be used on the inside of the metal fence to create such a barrier. All such landscaping shall be the responsibility of the individual property owner.

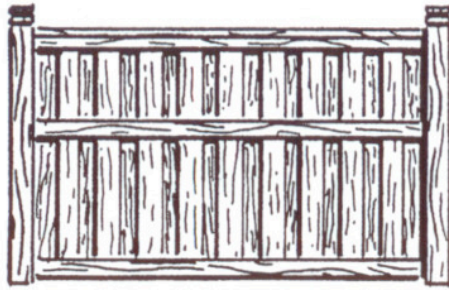


decorative metal fence

For areas where a visual barrier is desired along sections of the decorative metal fencing, the following plant materials are preferred to provide additional buffering:

- Taxus media* 'Hicks' (Hicks Yew)
- Viburnum trilobum* (American Cranberry Bush)
- Ligustrum vulgare* 'Lowdense' (Flowdense Privet)
- Rhus aromatica* (Fragrant Sumac)

Foothill Boulevard. Two types of fencing shall be used, at distinct locations, along Foothill Boulevard. At locations where single-family detached homes abut the right-of-way for Foothill Boulevard, the 5' cedar privacy fence shall be used. At all other locations, the decorative metal fencing with 4" by 4" cedar posts shall be used. This decorative metal fencing shall be 5' in height. As with Redwood Road, wherever the decorative metal fencing is required, solid fencing inside the metal fence is prohibited.



five-foot privacy fence

Major Collector Roads. Two types of fencing shall be used along the Major Collector Roads in The Villages. The 5' cedar privacy fence shall be used at all locations where single-family detached lots abut the right-of-way. At all other locations, the cedar two-rail open fence shall be used. One exception to this principle shall be the permitted use of the decorative metal fencing, with 4" by 4" cedar posts in a 4' height, where schools or other land-uses require a more restrictive barrier.

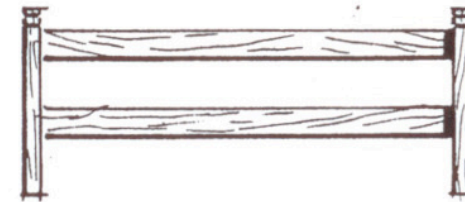
Neighborhood Collector Roads. Fencing along the Neighborhood Collector Roads shall be 5' cedar, semi-privacy fence, as illustrated below.



five-foot semi-privacy fence

Local Streets. Fencing along public streets shall be limited to the cedar two-rail open fence. However, to mitigate safety concerns, non-residential land-uses may opt to use the decorative metal fencing with 4" by 4" cedar posts in a 4' height along local roads.

Parks, Preserved Lands, Paths and Trails. Areas that border Parks, Preserved Lands, Paths or Trails shall be fenced with the cedar split-rail open fence. A taller open-style fence may be used subject to approval from the Architectural Review Committee, provided an additional setback of 20' from the property line is respected.



split-rail, open fence

It is expected that all fencing constructed in The Villages will conform to the provisions contained in these Design Principles. Nonetheless, additional fence styles and materials may be considered for use in The Villages. The use of any alternate fence types shall require the approval of the Architectural Review Committee. In order to approve alternate styles of fencing, the Architectural Review Committee must find that the proposed fence is equal in design and/or quality and that it is consistent, particularly in terms of color, height and materials, with the fencing styles provided in this document.

Signage

Signage plays a significant role in establishing a sense of arrival, place identification and in maintaining the basic functionality of a community. Continuity in signage throughout The Villages will provide a common thread that will help celebrate the uniqueness of this planned community. Scale and color are two important elements of appropriate sign design that have been considered as signs are prepared for use in The Villages.

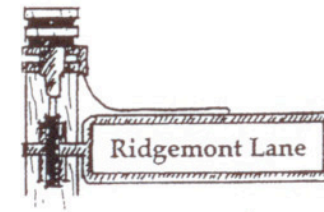
Community Entrances.

The entrances to The Villages off of Redwood Road will have significant entrance monuments to welcome residents and visitors to the community. Additionally, each neighborhood or development pod is required to have a coordinating, masonry entrance feature. All individual neighborhood entrance features shall incorporate identical rock to that used in fencing along Redwood Road and in the entrance features to The Villages development.



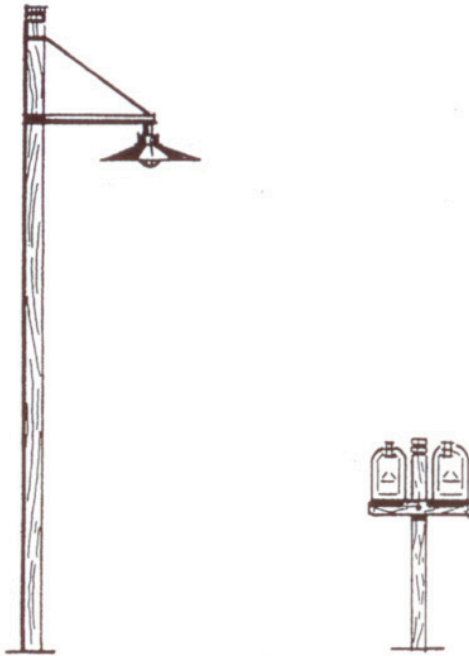
Traffic Controls and Street Signs.

Traffic control and street signs will be decorative and consistent throughout The Villages. Traffic control and street signs shall use a 4" by 4" cedar-covered metal post or a 6" by 6" cedar post. Fencing, signage, streetlights and mailboxes are intended to convey a western theme. Each of these shall be finished with a Monterey Gray stain.



Street Lights and Mailboxes.

Streetlights and mailboxes shall use a 4" by 4" cedar-covered metal post or a 6" by 6" cedar post.



Land-Uses

General Provisions

The Land-Use Plan for The Villages at Saratoga Springs establishes general road configurations, community and regional open spaces, public and civic uses and private housing densities and locations. Because The Villages encompass over 1,000 acres, the various

neighborhood pods are individually large developments with some containing over 60 acres. In order to work with the topography of the subject property, to provide the necessary and desired open space and to maintain an ability to respond to market demands, it is intended that the individual neighborhood pods may include various housing types and densities as long as the overall density and total housing units shown on the Land-Use Plan are not exceeded for each neighborhood pod.

A primary goal of these Design Principals is respecting views and view corridors both from The Villages and from surrounding properties into The Villages. Home sites, and the orientation of homes within each neighborhood, are encouraged to take advantage of the natural topography and view sheds. Individual homes plans are encouraged to locate windows where views can be maximized. Home locations in areas of steeper slopes shall be situated so as to minimize its visual impact on housing at lower elevations.

According to year 2000 Census data provided by Mountainland Association of Governments, Lehi City and the City of Saratoga Springs both average 3.70 persons per household. The City of Eagle Mountain averages 4.05 persons per household while Utah County generally averages 3.59 persons per household. The statistics for Lehi and Saratoga Springs are likely to be the most representative of The Villages, therefore, at build-out The Villages may include approximately 11,951 persons.

Civic Uses

Within The Villages a site sufficient to accommodate multiple civic uses or services has been planned. The Civic Uses site has been provided in the center of The Villages at a major crossroad. With a school site and church site also planned at this center location, an effort has been made to provide a focal point around which to build the community.

A civic building designed to house uses such as a public safety station and/or a public library would provide municipal services to the City's southern residents. The Civic Uses property has been placed adjacent to a regional trail system to encourage pedestrian access to the site and also to make access easier for public safety personnel into the regional trail

network, in case of emergency. Any civic use shall be consistent with the purposes, intent and provisions of these Design Guidelines.

Commercial

Two commercial nodes, totaling 19.95 acres, have been planned along the Redwood Road frontage and the intersections of Redwood and two major collector roads. Although each commercial node is sufficient to accommodate a "big box" anchor tenant, the standard, suburban "strip commercial" development is not desirable. The commercial development is intended to be pedestrian friendly and to provide areas for planned and spontaneous community gathering. The design, scale and aesthetic of the commercial development shall cater more to the pedestrian than the automobile. As such, large, unbroken expanses of parking are prohibited as is pole signage and other similar features that are scaled to the automobile rather than the pedestrian.

The Civic Uses property will be dedicated to the City so that facilities can be built according to the City's Capital Improvement Plan.

Very Low Density Residential (VLDR)

Very Low Density Residential neighborhoods will have an overall density of up to 1 to 3 dwelling units per acre. Individual lots within this designation may be clustered into developable areas or they may be as large as five or ten acres. Neighborhoods within the VLDR designation are the highest in elevation within The Villages, but these neighborhoods also have more severe topography and are impacted by a 345 kv transmission line. Slopes within the VLDR designation range from 6 to 17 percent. Subdivision design shall minimize mass grading, cutting and filling. Homes shall be clustered, when necessary, away from the transmission line so that these lines will have minimal impact on views from the homes closest to them.

The VLDR neighborhoods adjacent to the regional trail system; therefore, particular attention shall be given to providing access to the trails.

The minimum size for a dwelling unit for Neighborhoods 3, 7 and 17 (designated as 3 units per acre) shall be 1,250 square feet. The minimum

size for a dwelling unit for Neighborhoods 14 and 16 (designated as 2 units per acre) shall be 1,600 square feet. Minimum lot size, width and setbacks for detached, single-family, homes will be determined during the concept plan approval process by the City.

Low Density Residential (LDR)

Six neighborhoods have been planned for Low Density Residential neighborhoods. These neighborhoods will be characterized by a housing density of 3.1 to 5 dwelling units per acre. LDR housing will consist of single-family, detached dwellings. Occupying some of the most developable land at higher elevations within The Villages, the LDR parcels provide a unique opportunity in terms of subdivision design, views and view corridors. Given the topography and elevations, homes within these neighborhoods shall be provided with great views of the valley. Consideration shall be given to the design of each building site in order to preserve and maximize the valuable view corridors.

Individual homes are anticipated to be accessed from public, local streets, however, the sub-local street standard may be used when there are topographic constraints. With the larger lots, proportionately larger setbacks are required. Setbacks shall vary both from front to rear and from side to side. Over-reliance on uniform building planes and setbacks are to be avoided. Side-yard setbacks that vary in size are a key component in making yard space as useful as possible. Traditional side setbacks, which are often identical from lot to lot, tend to emphasize the monotony of a subdivision and limit the usefulness of the setback areas.

While individual yard space will provide most of the open space within the neighborhood, community open space will be relegated to trails and paths to encourage connectivity to other developments and to the regional trails network.

The minimum size for a dwelling unit within the Low Density Residential neighborhoods shall be 1,250 square feet. Minimum lot size, width and setbacks for detached, single-family, homes will be determined during the concept plan approval process by the City.

Medium Density Residential (MDR)

Medium Density Residential neighborhoods include a density range of 5.1 to 9 dwelling units per acre, however, the approved Master Development Plan Land-Use map illustrates only two neighborhoods at a density not to exceed 6 units per acre. These neighborhoods will primarily be single-family, detached dwellings but may also include attached dwelling units.

To the greatest extent possible, subdivision design shall be such to take advantage of available views. Entrance monuments and other streetscape enhancements will provide open space within the MDR neighborhoods.

Variations in setbacks, both from front to back and from side to side, are to be encouraged. Uniformity in front facades and setbacks tend to cause visual monotony and shall be avoided. In situations where rear-loading garages are utilized, setbacks shall be designated to ensure functionality of alleyways and to promote the creations of useful yard space.

The minimum size for a dwelling unit within the MDR neighborhoods shall be 1,000 square feet for detached dwellings units and 800 square feet for attached dwellings units. Minimum lot size, width and setbacks for detached, single-family, homes will be determined during the concept plan approval process by the City.

High Density Residential (HDR)

Four areas of High Density Residential housing are proposed. The housing density within these neighborhoods is expected to include 9.1 to 15 units per acre and as such will provide a transition or buffer to lower density housing or less intense uses.

Appropriate housing within the HDR areas include both town homes and condominiums, however, unbroken sequences of identical buildings shall be avoided. Additionally, long expanses of flat, unbroken facades are not permitted. Building types may range from 3 to 6 unit town

homes to 12 to 16 unit condominiums. Although detached, single-family homes and twin homes are not anticipated as a significant housing element within this district, these may provide a valuable transition, within these neighborhoods, to lower density housing nearby.

Given the nature of the attached buildings and the general absence of private yard space, the open space design will be critical in making these areas vibrant, viable neighborhoods. Trails and paths within these neighborhoods shall provide convenient access to areas of consolidated open space and shall also connect to regional, multi-use trails.

Parking areas within these neighborhoods shall be designed to compliment the "park-like" nature of the neighborhood. The size of the parking areas shall be limited to create small, segregated clusters. Interruptions to the asphalt shall be made with the introduction of landscaping features and/or decorative paving materials.

The minimum dwelling size shall be 1,000 square feet for detached product and 800 square feet for attached product. Minimum lot size, width and setbacks for detached, single-family, homes will be determined during the concept plan approval process by the City.

Architectural Guidelines Site Design

As a Master Planned Community, it is the intent of The Villages and these Guidelines to encourage higher quality in site planning and in home construction than is typically found in suburban development. Attractive and more functional streetscapes are a primary goal of these Design Guidelines, and of The Villages in general. Variety and diversity along local streets, avoiding long, straight streets with uniform setbacks and building shapes or facades are methods to accomplish superior design and construction.

Attached Single-Family and Multi-Family Developments

It is the intent of these Guidelines to raise the quality of site design, and to minimize the increased impacts that can result from higher density developments. Parking, for example, can dominate site design if specific precautions are not taken.

All development plans for attached housing shall be evaluated using the guidelines contained in this section with emphasis on the following criteria.

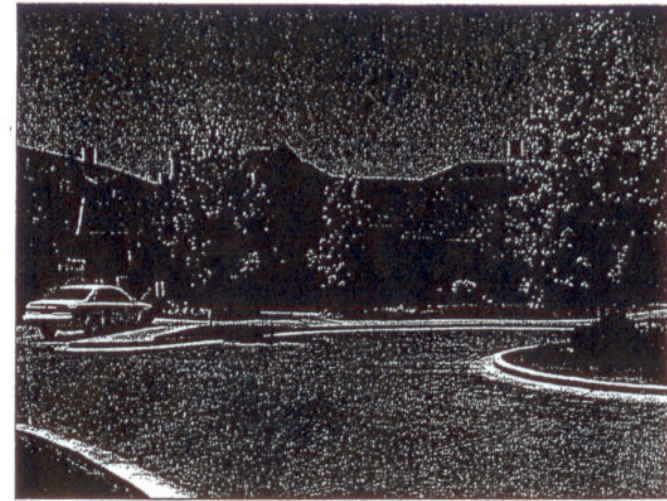
Attached housing developments shall not be separated by fences. Site design, landscaping and building placement shall blend sites to surrounding uses and roads without physical barriers.

Parking shall not line the development perimeter. Parking courts that are scattered throughout the development are the preferred means of providing parking when parking is not in individual garages. Large expanses of continuous parking lots or parking fields are prohibited.

The principal vehicular access into a multi-family, attached housing project shall be through an entry drive rather than a parking aisle. Colored, textured paving treatments and significant entrance features are required.

Minimal parking between the building and an adjacent road is permitted but such parking must be screened with landscaping and berming.

Building setbacks will be determined as a part of the site plan approval, however, setbacks and building placement shall vary to discourage a monotonous site plan.



appropriate entry into Attached Single-Family development

Open space shall be used to enhance the appearance of the development from surrounding streets and it shall be designed for functional use for the residents within the development.

Each multi-family development with 10 or more units shall include appropriate amenities for the residents of the development. Because each development will be different, the amenities required are likely to be different. The amount of amenities required shall be in proportion to the proposed number of units in the development. The following amenities shall be provided according to the development size or comparable equivalent amenities as recommended by the Planning Commission and approved by the City Council:

1. Developments with 10 to 30 units shall furnish picnic areas with tables and barbecue areas, a sport court of at least 500 sq. ft., and a playground complete with equipment.
2. Developments with 30 to 50 units shall furnish picnic areas with tables and barbecue areas, a sport court of at

- least 500 sq. ft., and two playgrounds complete with equipment.
3. Developments with 50 to 100 units shall furnish picnic areas with tables and barbecue areas, a sport court of at least 500 sq. ft., two playgrounds complete with equipment and a club house used for gatherings of residents not less than 750 sq. ft complete with restrooms.



appropriate playground equipment

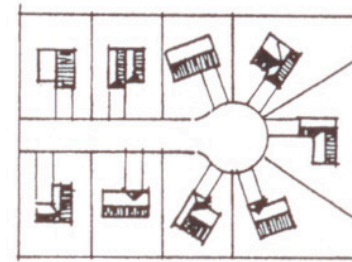
4. Developments with more than 100 units shall furnish picnic areas with tables and barbecue areas, a sport court of at least 500 sq. ft., three playgrounds complete with equipment, a club house used for gatherings of residents not less than 750 sq. ft complete with restrooms, and either a regulation size tennis court or subsurface swimming pool not less than 800 sq. ft. in size.

Detached, Single-Family Developments

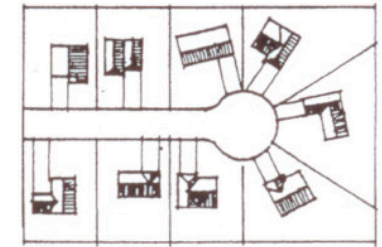
All single-family, detached subdivision plans shall be evaluated using the guidelines contained in this section with emphasis on the following criteria.

Placement of dwelling unit on the lot shall allow for varied setbacks both from front to rear and from side to side.

Placement and orientation of garages shall be varied.



typical - inappropriate



varied - appropriate

Subdivision design, home placement and home plans shall protect ridgelines with a minimum setback of 20 feet from any ridgeline.

Subdivision design, home placement and home plans shall take views and view corridors into consideration.

Natural features shall be preserved (i.e. riparian corridors, rock outcroppings, 30% slopes). Subdivision design shall work with the natural slope of the land to create more visual interest and to reduce cutting and filling.

Driveway slopes shall not exceed 15%.

Homes shall be adequately setback from drainage channels so as to minimize the impact on the channel. Solid walls or fences along drainage channels are not permitted.

Specific wall and fence types are defined in this document. Fencing is intended to be unobtrusive unless used as a barrier along arterial or collector roads.

Private lanes and flag lots may be permitted when other alternatives are found to be unsuitable due to site-specific environmental constraints. Common drives are encouraged where they can be used to enhance the streetscape and where they are accompanied by an architectural design prepared for a particular location.

Streets longer than 12 houses without having a bend, break or cross-street are discouraged. The City's block-length requirement of 1,000 must be followed.

The front setback for the occupied portion of the dwelling may be reduced below the required setback for the garage. Variation in front setbacks is encouraged in order to reduce uniformity along the streetscape.

In order to encourage variation in setbacks, varied lot widths is encouraged.

Cul-de-sacs shall provide connections at the end to allow for pedestrian access to open space and to connecting neighborhoods or streets.

Commercial

Eventual commercial development will be located along Redwood Road at the entrances to The Villages at Saratoga Springs. Although the commercial nodes are of sufficient size to accommodate a "big box" anchor tenant, it is intended that standard "strip" commercial design patterns are not desirable. With such a predominate location, the design and architecture of the commercial uses will have a significant influence on the tone and aesthetic value of the community in general. Along with

any potential big box user, smaller users and broken parking areas are essential to the successful design of the commercial development.

The site plan shall be designed to encourage pedestrian activity by use of landscaping and outdoor sitting areas. The placement, size and orientations of buildings shall enhance public spaces.



informal gathering space

Twenty percent of the area of all lots must be landscaped. Landscaping must include five percent within the interior portion of the parking lots (excluding edges of the lot outside of paved areas).

Buildings shall be located in recognition of the importance of street corners and street façades.

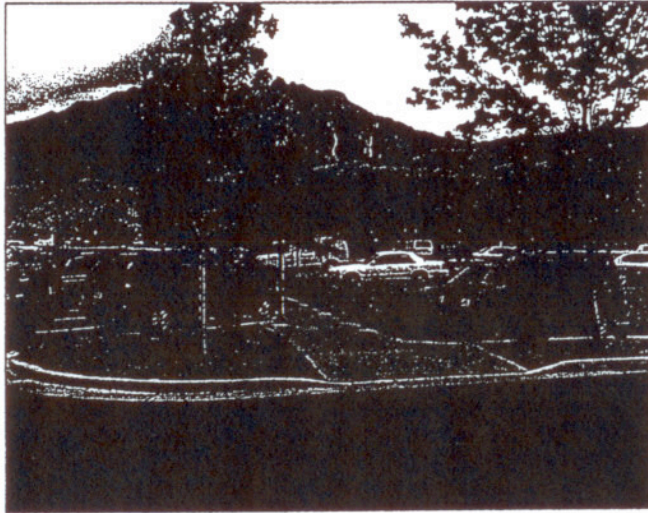
Pedestrian connections to the surrounding residential development is required.

Parking lots shall be largely hidden from view of the traveling public along Redwood Road. Parking lots shall be placed behind buildings

with minimal parking located between the building and Redwood Road. Parking that is located between a building and Redwood Road shall be screened from view with berming and landscaping.

Parking fields of more than 100 spaces are prohibited.

Sharing compatible parking area between adjacent properties or buildings is encouraged to reduce the total amount of paved area.



appropriately designed landscaped island

Reciprocal access between neighboring lots shall be provided when feasible.

Businesses shall be located in buildings smaller than typical "strip commercial" buildings with no more than three to four businesses per building. Larger buildings may be permitted if there is sufficient variation in architecture to appear as a series of small, attached shops. Two-story buildings and mixed uses within the commercial development are encouraged.

Hillside Standards

Maximum Development Elevation. Development shall be prohibited above the 5,350-foot elevation.

Maximum Impervious Material Coverage. The maximum impervious material coverage that shall be allowed upon which single-family dwelling units are located shall be 30 percent of the total lot area or 5,000 square feet, whichever is smaller, including accessory buildings, patios, and driveways; provided, however, that the maximum impervious material coverage may exceed 30 percent or 5,000 square feet upon review and approval by the Planning Commission.

Usable Land. Single-family dwelling units shall be located only upon areas constituting usable land, which area shall be fully contiguous and shall be at least 5,000 square feet in size, and shall have a minimum dimension, either length or width, of 50 feet. Usable land shall be defined as land having a slope of less than 30 percent.

Vegetation and Revegetation. All areas on development sites cleared of natural vegetation in the course of construction shall be replanted with vegetation that has good erosion control characteristics. The use of persons or firms having expertise in the practice of revegetation (i.e., licensed landscape architects or nurserymen) shall supervise the planting and installation of revegetation cover. Vegetation shall only be removed when absolutely necessary, e.g., for construction of buildings, roads and cut or filled areas.

Grading, Cuts, and Fills. Exposed unstable surfaces of an excavation or fill shall not be steeper than one vertical to two horizontal. All permanent fill shall be located so that settlements, slidings, or erosions shall not damage or cover streets, curbs, gutters, sidewalks or buildings. The top and bottom edges of slopes caused by an excavation or fill up to 10 vertical feet shall be at least 3 horizontal feet from the property line or public right-of-way lines. The maximum vertical height of all cuts or fills shall be 15 feet. Fills for slumps or other natural depressions may exceed 15 feet if approved by the Planning Commission. Cuts and fills greater than 15 feet shall have the recommendation of the City Engineer.

Architecture

It is the intent of these architectural standards to raise the quality of the housing stock within The Villages and to make more efficient the review of proposed dwelling plans. While a wide variety of housing styles and prices are intended for occupancy within The Villages, adherence to the design and architectural standards will create a more aesthetically pleasing, functional and livable community.

It is not the intent of these architectural principals to dictate selected architectural styles. For those specific architectural styles that are chosen, exact duplication of the style is not required, however sufficient loyalty to the style, mass, scale and proportion to be consistent with the chosen architecture is necessary. Individual home plans must have the approval of The Villages Architectural Review Committee (ARC).

Developers and builders are strongly encouraged to establish an architectural theme for their individual neighborhood or development pod. Neighborhood design themes must be approved by the ARC.

Attached Single-Family and Multi-Family Dwellings

Buildings with stacked units shall not have a flat wall plane over 30 feet in length without at least a four-foot break in the plane.

Structures of three to four dwelling units shall maintain a single-family, detached appearance to the greatest extent possible. Instead of units mirroring each other, the dwellings shall be designed so that they have the appearance of a large, single-family dwelling. This can be accomplished by separating the entrance of one unit from the entrance to the adjacent unit, or by utilizing grade changes and roofline variations.

Structures shall be staggered, both vertically and horizontally, between individual units or groups of units, to break up the mass of the building and to create a varying roofline.

Building heights shall not exceed 3 stories, or 35 feet, above grade.

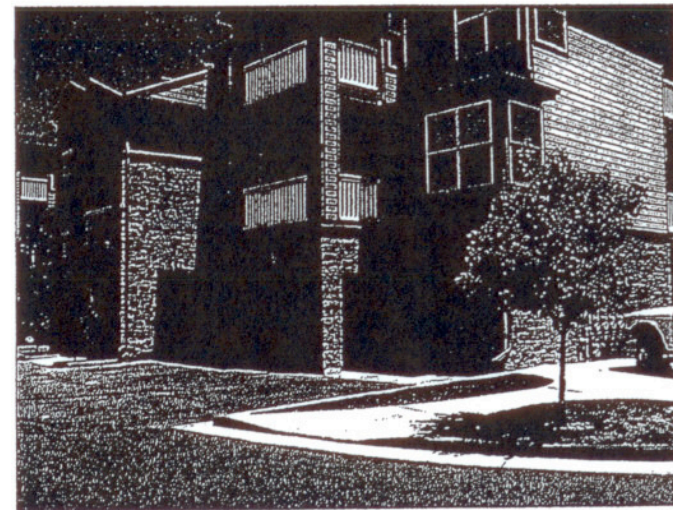
Staggering shall emulate the slope of the site.

Massing is defined as the combination of different architectural forms to create a more diverse and interesting design. Massing shall be employed to create a varied, three-dimensional appearance.

Roofs shall have a slope of no less than 4:12 and no more than 10:12.

Primary ground floor residential entries to attached housing shall orient to streets, not to interior blocks or parking lots. Secondary and upper-floor entries from the interior of a block are acceptable.

Buildings shall demonstrate sufficient relief and rhythm to create visual interest to pedestrians. Long, unbroken facades and box-like buildings shall be avoided.



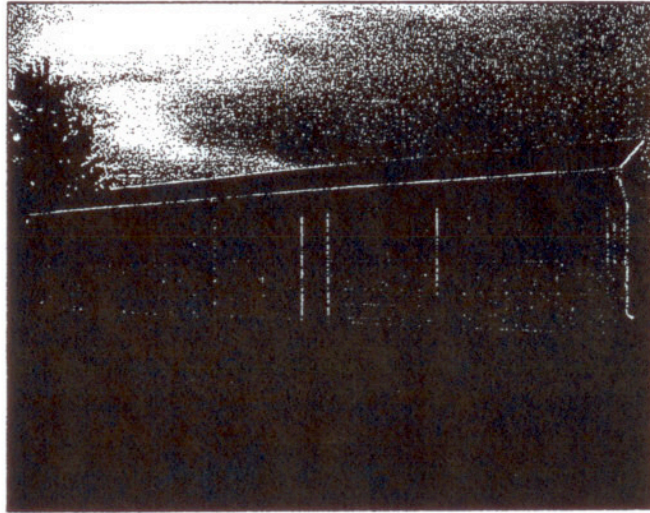
Attached Single-Family dwellings with appropriate relief

Front porches, bays and balconies are encouraged. In no case shall a façade of a building consist of an unarticulated, blank wall or unbroken series of garage doors.

The appearance of garage doors from the street shall be minimized.

Garage doors shall be painted the primary color of the home or housing unit. White garage doors are prohibited unless the primary color of the home is white.

Front-loading garage doors shall be recessed a minimum of eight inches from the face of the garage door wall.



unacceptable garage configuration

Sectional garage doors with decorative panels shall be required.

Stone, brick or stucco must be used on a minimum of 50% of all four elevations.

Materials shall be consistently applied and harmonize with adjacent materials.

Frequent changes of material shall be prohibited.

Material changes shall occur at inside corners or be wrapped a minimum of two feet around a corner.

Roof-mounted mechanical equipment shall be prohibited.

Equipment mounted to the ground shall be screened.

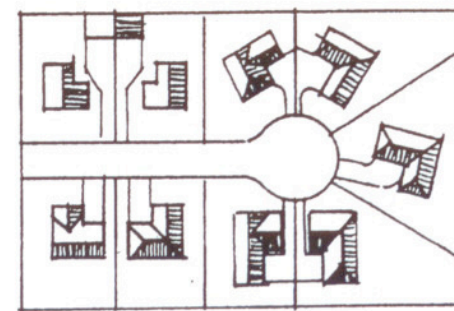
Equipment mounted to the structure shall be architecturally screened.

All architectural screening devices shall be compatible in terms materials, color, shape, and size and shall blend with the building design.

Detached Single-Family

Subdivisions shall offer variety or diversity in front elevations of homes. Identical homes on adjacent lots or directly across the street is not permitted.

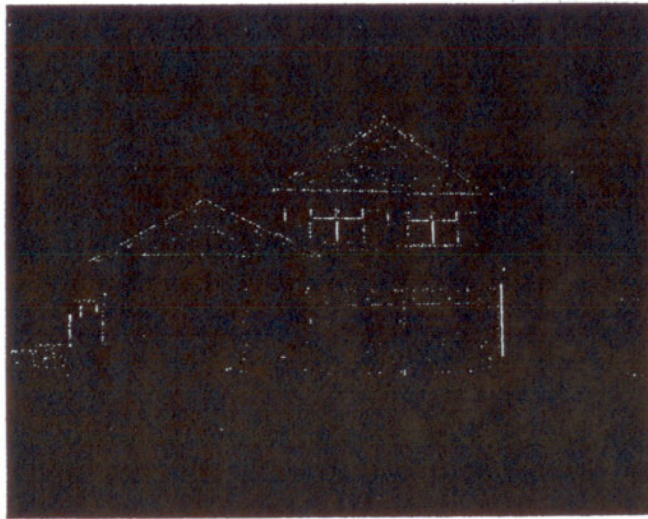
Single-family, detached homes shall de-emphasize the garage. Recessing the garage and using side and rear-loading garages is encouraged. Typical front-loading garages and/or garages that extend beyond the front may be used, however, the maximum that a front-loading garage may extend beyond the livable portion of the home is four feet. In order to de-emphasize the garage, front porches are encouraged. Measures should be taken to keep the garage doors from being the dominant feature on the front elevation of homes.



appropriate garage locations

Three-car garages shall have a minimum offset of two feet for one of the bays.

Garage doors must be painted to match the primary color of the home. White doors are only permitted if the primary color of the home is white.



garage painted an appropriate color

Corner lots must have side-loaded garages unless it can be shown that a traffic conflict will result.

Garage setbacks shall be a minimum of 20 feet to allow for driveway parking without overhanging the sidewalk.

The minimum front setback for a dwelling shall be 12 feet including decks, porches or overhangs.

Side-loaded garages shall have sufficient window space on the front elevation to appear as livable space within the home. Windows on the garage must match those used on the front elevation of the home.

Front porches and wrap-around porches are encouraged.

The minimum house size within the Very Low Density Residential neighborhoods is 1,250 square feet for those neighborhoods designated as 3 units per acre and 1,600 square feet for those neighborhoods designated as 2 units per acre.

The minimum house size within the Low Density Residential neighborhoods is 1,250 square feet.

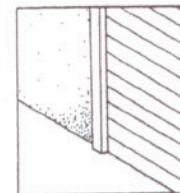
The minimum house size within the Medium Density Residential neighborhoods is 1,000 square feet for detached housing and 800 square feet for attached housing.

The minimum dwelling size within the High Density Residential neighborhoods is 1,000 square feet for detached product and 800 square feet for attached product.

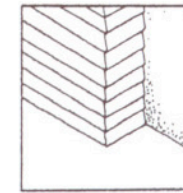
Minimum percentages of exterior materials shall not be required, however, when the primary material of the front elevation is stone, brick or stucco, that material shall be used on a minimum of 15% of the surface area on each of the remaining sides.

Materials shall be consistently applied and harmonize with adjacent materials.

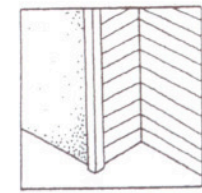
Material changes shall occur at inside corners or be wrapped a minimum of two feet around a corner.



unacceptable



acceptable



unacceptable

Frequent changes of material shall be prohibited

Siding dimensions from the front elevation shall be consistent for all elevations.

A minimum of six-inch trim at window heads and four-inch trim at window jambs and sills shall be required.



appropriate window trim

A minimum of four-inch trim shall be required beneath soffits and rake conditions.

A minimum of four-inch corner boards shall be required on both planes at all outside corners.

A skirt board of at least eight inches shall be required at the base of bays and in locations where siding meets foundation.

The maximum width of siding shall be eight inches.

Solar panels shall be integrated into the roof design and consistent with the roof slope. Frames for solar panels shall be colored to match the roof.

All associated mechanical equipment shall be screened from view.

Landscaping

Single-family housing, whether attached or detached shall have front yard landscaping installed within 120 days after the earlier of either substantial completion of the home or occupancy of the home by the owner. A reasonable extension for weather may be granted by the ARC. Front yard landscaping shall include sod or seeded lawn, irrigation and trees and shrubs as specified on the Lot Planting Detail. A Lot Planting Detail is illustrated on page 30.

Commercial Development

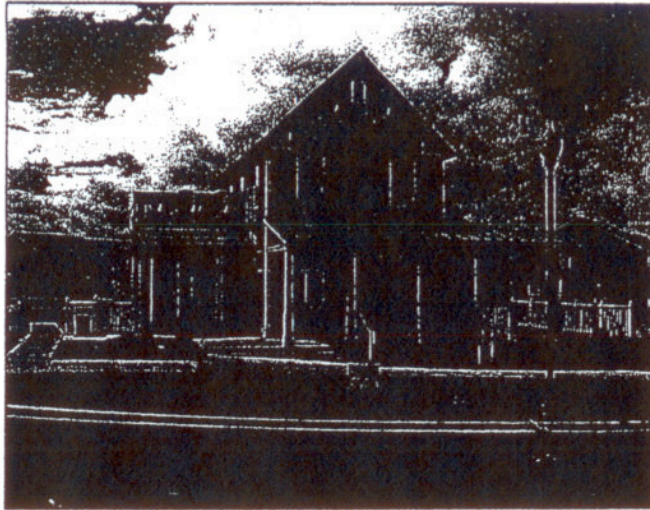
A "Country" or "Turn-of-the-Century" architectural theme is required for commercial development within the Villages at Saratoga Springs.

Exterior finish materials that are consistent with the architectural theme are required. For example, stone, brick and wood clapboard siding in configurations consistent with a "Country" or "Turn-of-the-Century" is appropriate.

Stretches of flat or unarticulated façade for 25 feet or more is not acceptable.

The color of structures shall not be overwhelming to neighboring buildings or nearby neighbors.

A base color shall be chosen that will link the entire building. Colors that will tie in signs, ornamentation, awnings and entrances are required.



appropriate style for commercial development

Back-lit or "day-glo" signage or lettering is not permitted.

Exterior lights shall not illuminate the entire façade of the building.

Fluorescent lights are prohibited.

No exterior or façade lighting shall be allowed which extends or floods onto adjacent properties or public spaces.

Use shielded, indirect light sources for all exterior lighting.

Muted colors are preferred for the background color of most buildings and brighter, contrasting colors are preferred for accents only (one or two accent colors typically).

Gable roof orientation shall be either parallel or perpendicular to the street. Roofing material shall be wood, metal or asphalt shingles with a minimum 30-year architectural grade. Mediterranean or Spanish-style clay tile roofing is prohibited.

Pole signs are prohibited.

Signage on awnings shall not overpower the awning or building façade.

Signs shall only be located on the first floor level, to enhance the pedestrian-oriented character of the street.

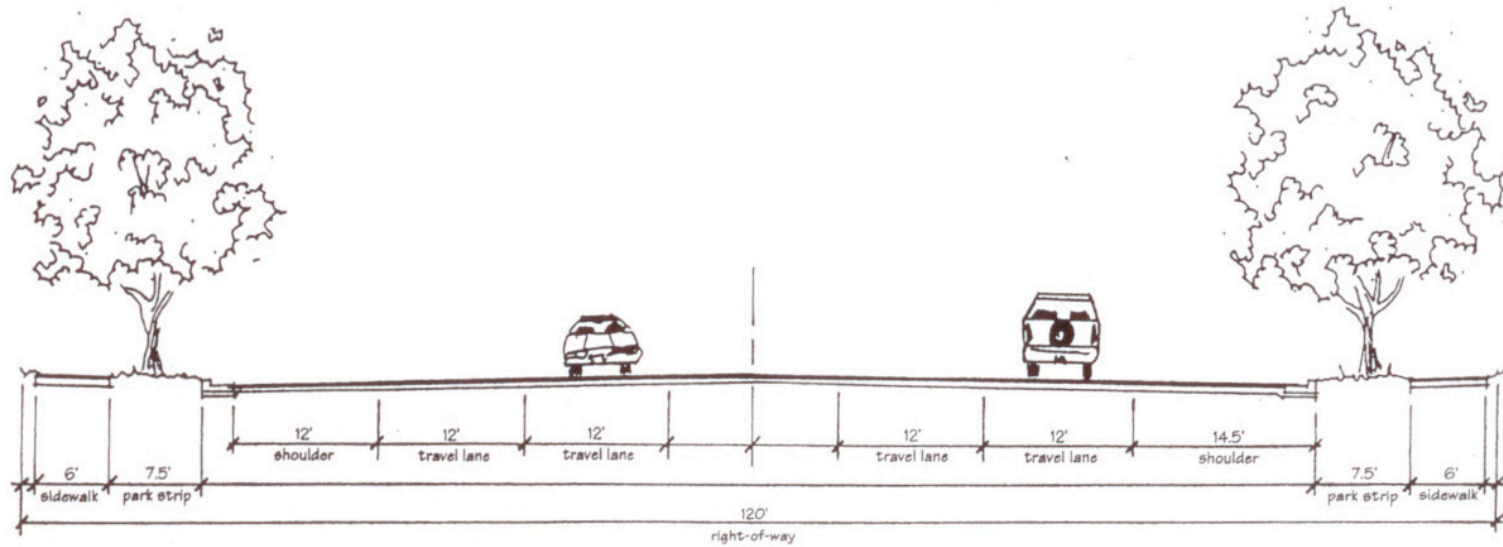
Second story signs may be permitted on a case-by-case basis.

Monument signs are preferred and shall not overpower the building façade or frontage.

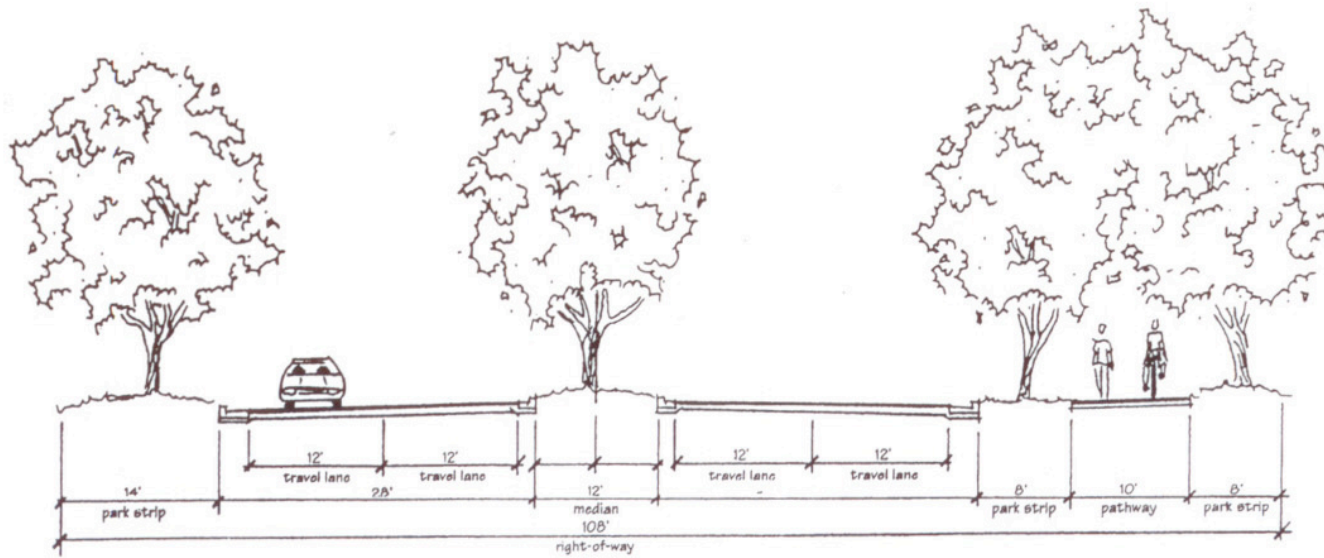
Architectural Review Committee Approval Process

1. Applicants submit required materials to the Architectural Review Committee manager
2. ARC manager checks submittals for completeness then forwards the submittal to the members of the ARC
3. ARC reviews applications for consistency with the Design Guidelines and basic design principals and approves, denies or continues the application
4. Submittals are then returned to the ARC manager who provides written decisions for applicants, prepares files for approved plans
5. Applicants provide the City with written verification of ARC approval then apply for and obtain a building permit from the City
6. ARC inspector receives files for approved applications from the ARC manager, inspects homes for compliance with approved plans, provides written verification of inspection results
7. Applicants provide the City with written verification of passed inspection, request certificate of occupancy in conformity with the City's building inspection process

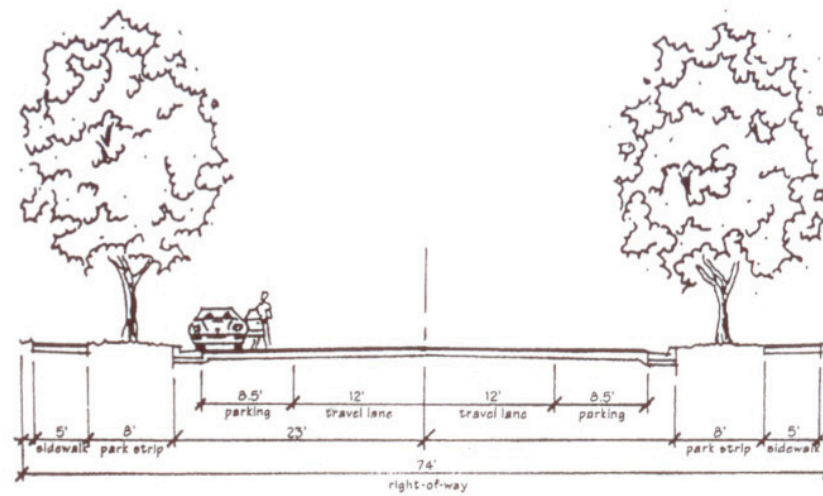
Transportation Corridor Designs



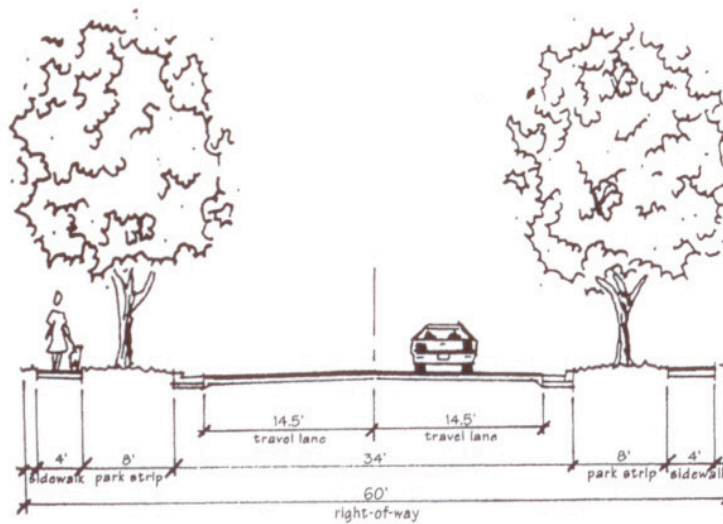
Arterial



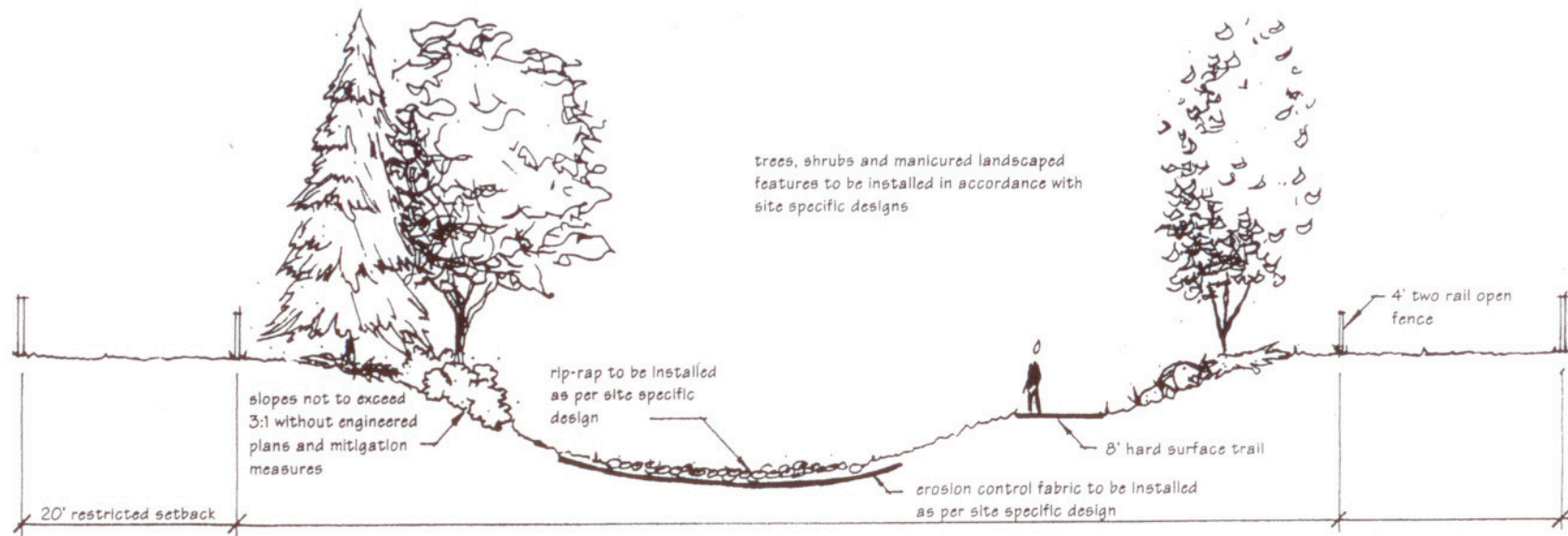
Major Collector



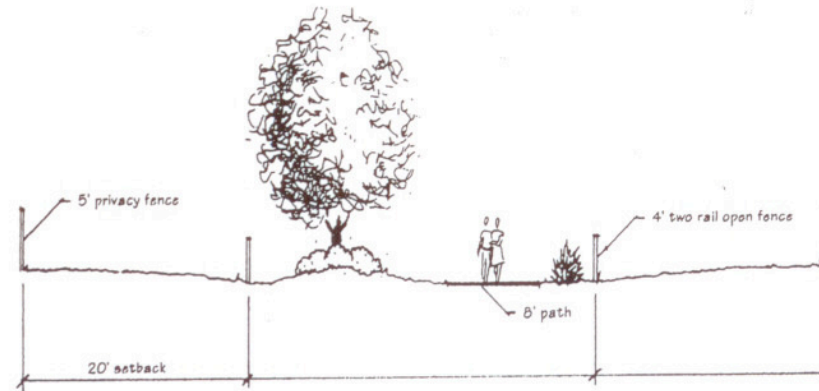
Neighborhood Collector Road



Local Road



Regional Open Space Corridor



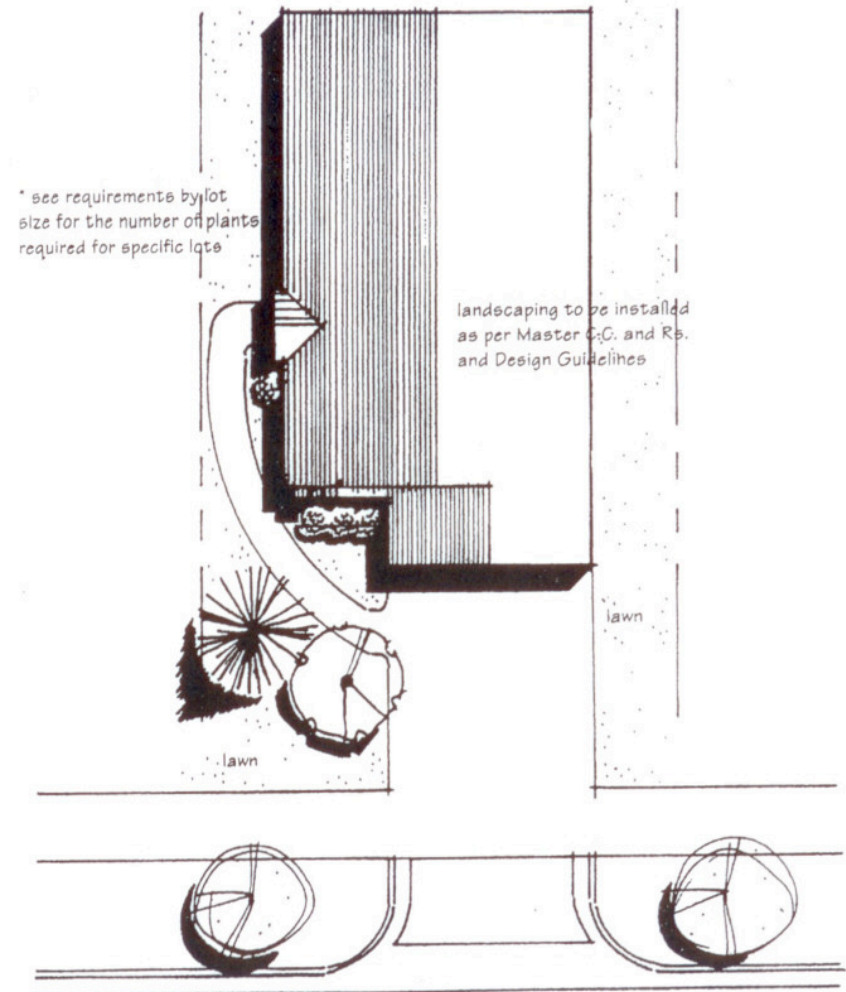
Neighborhood Open Space Corridor

Landscape Plan - Detached, Single-Family Typical

Botanical Name	Common Name	Size
Evergreen Trees		
Abies Concolor	White Fir	7'-8'
Picea Glauca	Colorado Spruce	7'-8'
Pinus Nigra	Austrian Pine	7'-8'
Deciduous Trees		
Acer Rubrum	Red/Sunset Maple	1 ½" caliper
Praxinus Pennsylvanica	Palmore Ash	1 ½" caliper
Cercis Canaensis Tilia Cord.	Littleleaf Lindon	1 ½" caliper
Pyrus Callendryana	Chanticlear Pear	1 ½" caliper
Evergreen Shrubs		
Juniperus Chinensis	Sea Green Juniper	5 gallon
Mahonia Aojfolium	Compact Oregon Grape	5 gallon
Prunus Laurocerasus	Otto	5 gallon
Taxus Media	Dark Green Spreading	5 gallon
Deciduous Shrubs		
Small (less than 4")		
Berberos Thunbergii	Redleaf	5 gallon
Euonymus Alatas	Dwarf Burning Bush	5 gallon
Ribes Alpinum	Alpine Current	5 gallon
Spiraea Bumalda	Anthony	5 gallon
Symgia Vilutina	Lilac	5 gallon
Large (greater than 4")		
Acer Ginnala	Asur Maple	5 gallon
Cornus Sericea	Bailey Red - Twig Dogwood	5 gallon
Ligustrum Vicaryi	Golden Privet	5 gallon
Hibiscus Syrcus	Rose of Sharon	5 gallon
Roba Rugoba	Hardy Shrub Rose	5 gallon

Requirements by Lot Size

less than 6,000 sq. ft.	2 trees (deciduous or evergreen) and 4 shrubs
6,000 to 10,000 sq. ft.	3 trees (deciduous or evergreen) and 5 shrubs
greater than 10,000 sq. ft.	5 trees (deciduous or evergreen) and 7 shrubs



THE VILLAGES AT SARATOGA SPRINGS MASTER
HOMEOWNERS ASSOCIATION
SUPPLEMENTAL DESIGN GUIDELINES

Prohibition against Dead Lots

Any lots once purchased from the Company or its assigns must have construction commenced within 12 months of purchase. Company may maintain undeveloped lots at its discretion.

Land Use

All lots shall be used for residential purposes with the exception that home occupations shall be allowed as permitted by the City of Saratoga Springs. No building shall be permitted on any lot other than one single-family dwelling, except for any common area structures of the development. Detached accessory buildings such as sheds, shops or detached garages are permitted in accordance with the ordinances of the City of Saratoga Springs. Any accessory structures must be pre-approved in writing by the Architectural Review Committee and shall conform to the City of Saratoga Springs building permit process and ordinances prior to construction. All structures and land use shall conform to the Villages at Saratoga Springs Design Guidelines and these Supplemental Design Guidelines.

Building Type

No single family dwelling shall exceed two (2) stories in height nor contain a garage holding less than two cars. No modular homes, mobile homes, or "move-on" homes are permitted. Residential structures are to be constructed using conventional construction methods. All homes must be constructed in accordance with City of Saratoga Springs building and fire codes. All proposed residences must pass review with the Architectural Review Committee prior to construction as set forth below.

Dwelling Size

Dwelling sizes shall conform to The Villages at Saratoga Springs Design Guidelines. Further information is found on the attached Exhibit A.

Building Setbacks

Building setbacks shall conform to The Villages at Saratoga Springs Design Guidelines.

Dwelling Heights

No Dwelling shall exceed thirty-five (35) feet in height at its highest point. Condominium areas shall be subject to requirement established in connection with the approval process for those structures.

Garages

Each dwelling is to be provided a minimum of an enclosed two-car garage. Side entry, detached, or rear loading garages are encouraged to enhance varied setbacks. No carports shall be allowed.

Dwelling Elevation

Dwelling elevations shall conform to The Villages at Saratoga Springs Design Guidelines. All lots that back Redwood Road or the open space along Village Parkway must have varied relief

along the façade facing the above streets. Example: Bay Window, Window Seat Popouts, Room Extensions with Gable, Shed, or Hip Roof, Covered Deck, etc. It may be required that the homes built on the above mentioned lots have no vinyl, steel or aluminum siding on any surface.

Roof Pitch and Materials

Roof pitch and materials shall conform to The Villages at Saratoga Springs Design Guidelines.

Exterior Materials

The exterior of the dwelling shall be comprised of brick, stone, stucco, wood siding or concrete siding having a minimum thickness of .042. All exterior materials shall be used in a manner that is approved by the Architectural Review Committee. The Company, acting through the ARC, shall have the right to prohibit any use of a particular exterior material on any lot. Exterior materials shall conform to The Villages at Saratoga Springs Design Guidelines. No vinyl, steel or aluminum siding will be allowed on the front of any home. Further information is found on the attached Exhibit A.

Landscaping

Each individual lot shall have a front yard completely landscaped prior to receiving an occupancy permit from the City of Saratoga Springs, Landscaping must meet the point system set forth on the Minimum Design Standards Worksheet.

The following trees because of their undesirable characteristics, are prohibited:

Tree of Heaven (Paradise)	American Plane Tree	Lace Leaf Poplar
Silver Poplar	Bolleana Poplar	Narrow-leaf Poplar
Carolina Poplar	Freemont Poplar	Lombardy Poplar
Black Locust	Siberian Elm	American Elm
Chinese Elm	Russian Olive	

In lieu of planting trees or shrubs during winter months, a landscaping cash bond of \$1,500 may be posted by the contractor during the months of October through March due to weather and temperature concerns. The cash bond shall be held by the Villages at Saratoga Springs Master Homeowners Association, and will be returned only if landscape is completed by the last day of May and no past-due assessments are owed.

Further information on landscaping is found on the attached Exhibit A.

Driveway Apron

The portion of concrete between the curb and sidewalk known as the drive apron will have a stamped pattern and colored finish as set out in writing by the ARC. This pattern and color will be maintained throughout the community in a uniform manner.

Building Location

All dwellings are to be located as required in The Villages at Saratoga Springs Design Guidelines.

Temporary Structures or Site Material

No structures of a temporary nature, trailer, tent, shack, etc., shall be used on any lot for storage or residence prior to commencement of construction of a single-family dwelling on the lot. No building or other materials shall be placed on the lot until commencement of construction.

Accessory Buildings

Any detached accessory building shall be constructed on the same materials used on the residence unless prior approval is obtained in writing from the Architectural Review Committee. Any accessory structure of any kind must be received prior written approval from the Architectural Review Committee, and must comply with Saratoga Springs City codes, and with The Villages at Saratoga Springs Design Guidelines. Approval of accessory buildings which comply with applicable Saratoga Springs City codes shall not be arbitrarily denied.

Fencing

All fencing shall conform with fencing standards set forth in The Villages at Saratoga Springs Design Guidelines. No white vinyl fencing shall be allowed.

Side yard gate access shall be planned and provided for in the design of the dwelling. Any equipment, RV's, trailers, boats, etc. shall be parked in the side yard setback, screened from street view.

Further information of fencing is found on the attached Exhibit A.

NOTES:

1. The minimum of four-inch trim beneath soffits and rake conditions outlined in The Villages at Saratoga Springs Design Guidelines will not be enforced.
2. The maximum that a front-loaded garage may extend beyond the livable portion of the home is four feet as outlined in The Villages at Saratoga Springs Design Guidelines will not be enforced.

Exhibit A

Dwelling Units. Except as otherwise designated on the Master Plan or unless otherwise specified for a particular Unit, tract or parcel in Supplemental Design Guidelines, no Unit shall be improved except with one dwelling unit, each single-family, detached dwelling unit shall have a fully enclosed garage, attached or detached, adequate for a minimum of two standard size automobiles and no carports or parking pads shall be allowed.

Unless otherwise specified in Supplemental Design Guidelines recorded after the date of this Master Declaration, the initial cost of the Unit and the initial improvements located thereon shall be not less than \$60,000.00 based on May 2001 costs, adjusted for subsequent years in accordance with reasonable increases in Unit prices and construction costs for residential dwelling units. Within a single-family neighborhood, lots up to 6,500 sq. ft. shall have homes with a minimum square footage of 1,000 sq. ft. Lots from 6,500 sq. ft. to 20,000 sq. ft. shall have homes with a minimum square footage of 1,250 sq. ft. and lots of 20,000 sq. ft. or larger shall have homes with a minimum square footage of 1,800 sq. ft. Within single-family attached developments or multi-family developments, each home shall not be less than 500 square feet on the main floor unless otherwise specified in Supplemental Design Guidelines.

Exterior Materials and Colors. All exterior materials and colors shall be selected and used which are approved by the ARC and which are compatible with other Buildings on the Unit and on neighboring Units to the end that all such Buildings will present a unified and coordinated appearance. All exterior finishes and/or colors, excluding accent features, shall be earth tone, including subtle blue and gray tones, or as otherwise approved by the ARC or specified in Supplemental Design Guidelines. The ARC may approve bold colors for accent features such as shutters and front doors. Each house shall include some brick, stone, stucco or other distinctive features on the front exposure. Roofs shall be wood shake, tile, architectural shingles (grays, browns, and blacks), or other materials or colors selected from ARC approved shingles, and no gravel roofs shall be permitted.

Fences. No fence, wall, ledge, high planting, obstruction or other visual or privacy barrier (hereafter collectively "fence") of any kind shall be constructed on a Unit unless the plans and specifications thereof, including the location, design, material and color thereof, have been approved in writing by the ARC prior to the construction or installation. Materials must be those approved in the Design Guidelines. No white vinyl shall be allowed.

It is the intent of the Declarant to create an open, spacious and landscaped street-scape and private backyards throughout the Project, and all decisions with respect to fences shall be governed accordingly. All fences constructed on a Unit shall be in compliance with the applicable ordinances of the City of Saratoga Springs, Utah or shall have obtained a variance from the City. The City's approval of a variance shall not eliminate the need for ARC approval as required herein. All fences shall be constructed of material and in colors approved by the ARC. Backyard fences along parks and open-space areas must be open and shall not exceed four feet in height unless otherwise approved by the ARC. Side-yard fences shall not exceed six feet in height. No fences shall be constructed within the front-yard setback area unless allowed by the Supplemental Design Guidelines and approved by the ARC. All fence barriers constructed on a Unit shall be subject to the following restrictions unless specified otherwise in Supplemental Design Guidelines, which guidelines shall control:

No fence shall be permitted to be constructed or installed on any portion of a berm constructed by the Declarant or a Participating Developer in the Project such that it exceeds the height of the fence installed by the Declarant as part of the landscape easements, without written approval of the ARC.

Fences shall not project beyond the setback of the principal Building on the Unit. No fence higher than six feet shall be allowed unless the ARC approves an exception to this limitation.

All fences shall be constructed, installed and maintained in good appearance and condition at the expense of the Owner of the Unit at which they are located and all damaged fencing shall be repaired or replaced to original design, materials and color within a reasonable time after said damage occurs.

All fences constructed or installed on the interior of a Unit, e.g. dog runs, swimming pool, patio, etc., which are visible from an adjoining Unit or from a street within the Subdivision shall be subject to prior approval by the ARC.

Landscaping. The following provisions shall govern the landscaping of Units within the Project unless specified otherwise in Supplemental Design Guidelines, which guidelines shall supercede the requirements specified below:

The owner shall prepare a landscape plan and shall submit the same to the ARC. The ARC shall approve said landscape plan prior to the installation and/or construction of landscaping on a Unit. Landscaping of a Unit shall be in accordance with the approved plan.

A desire for an open, spacious and green-growing street-scape appearance and private back-yards will control the decisions of the ARC. The ARC shall consider overall design features of the improvements to be constructed on the Unit in reviewing and approving or disapproving the landscape plan.

The minimum landscaping requirements shall be as follows:

(a) Innovative landscape design, including sculptured planting areas, berms or other features with screening or bordering of foundations, fences (if any), curbs and other similar elements of the improvements on the Unit.

(b) The initial landscaping shall include plantings

(c) Additional landscaping to that required may be required if the ARC in its discretion, reasonably determines it is necessary or desired to achieve Project objectives. The Declarant or the ARC shall determine the species, size and location of all trees planted in the park strip or planter strip between the curb and sidewalk on the front or side of a Unit.

Lighting. All exterior lights and interior lights reflecting outside shall not be placed in any manner which shall cause glare or excessive light spillage on a neighboring Unit or upward into the sky and shall be in accordance with the Supplemental Design Guidelines.